



COMHAIRLE | CLARE
CONTAE AN CHLÁIR | COUNTY COUNCIL

Registered Post

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Co. Clare

RL4096 6290 91E

13th December, 2021

Your Client – John O'Brien

Section 5 referral Reference R21-68 – John O' Brien

Is the construction of an agricultural slatted shed for housing cattle at Ardnaculla South, Ennistymon, Co. Clare considered to be development, and if so is it exempted development?

A Chara,

I refer to your application received on 25th November 2021 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

The Planning Authority has considered the matter and I attach herewith the Council's findings in this matter.

Where a declaration is issued by the Planning Authority, any person issued with a declaration, may on payment to an Bord Pleanála of the required fee, refer a declaration for review by An Bord Pleanála within 4 weeks of the date of the issuing of the declaration. Details on making such appeal are available on the Board's website at www.pleanala.ie

Mise, le meas

Anne O'Gorman
Staff Officer
Planning Department
Economic Development Directorate

An Roinn Pleanála
An Stiúthóireacht Forbairt Gheilleagrach
Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

Planning Department
Economic Development Directorate
Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



**DECLARATION ISSUED UNDER SECTION 5 OF THE
PLANNING & DEVELOPMENT ACT 2000 (AS AMENDED)**

Reference No.: R21-68



Comhairle Contae an Chláir
Clare County Council

Section 5 referral Reference R21-68

Is the construction of an agricultural slatted shed for housing cattle at Ardnaculla South, Ennistymon, Co. Clare considered to be development, and if so is it exempted development?

AND WHEREAS, John O' Brien has requested a declaration from Clare County Council on the said question.

AND WHEREAS Clare County Council, in considering this referral, had regard in particular to –

- a. Sections 2, and 3 of the Planning and Development Act 2000, as amended,
- b. Class 6, Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- c. Articles 6 and 9 of the Planning and Development Regulations 2001, as amended
- d. The details and drawing as indicated in submitted documents from the referrer.

And whereas Clare County Council has concluded:

- (a) that the development consisting of the construction of a slatted unit for the housing of cattle constitutes "works" and "development" which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- (b) that said development, consisting of a slatted unit for the housing of cattle, is exempted development having regard to Class 6 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended, including the conditions and limitations therein.

THEREFORE: The Planning Authority in exercise of the powers conferred on it by Section 5 of the Planning and Development Act, 2000 (as amended), hereby decides that:

The proposed development consisting of the construction of an agricultural slatted shed for the housing of cattle at Ardnaculla, Ennistymon for the housing of cattle is development and

is exempted development as defined within the Planning & Development Acts, 2000 (as amended) and associated regulations.

A handwritten signature in black ink, appearing to read 'Anne O'Gorman', with a horizontal line extending to the right.

Anne O'Gorman
Staff Officer
Planning Department
Economic Development Directorate

13th December, 2021

CLARE COUNTY COUNCIL

SECTION 5 OF THE PLANNING AND DEVELOPMENT ACT 2000 AS AMENDED

DECLARATION ON DEVELOPMENT AND/OR EXEMPTED DEVELOPMENT

Chief Executive's Order No:

78906

Reference Number:

R21-68

Date Referral Received:

25th November 2021

Name of Applicant:

John O' Brien

Location of works in question:

Ardnaculla South, Ennistymon, Co. Clare

Section 5 referral Reference R21-68 – John O' Brien

Is the construction of an agricultural slatted shed for housing cattle at Ardnaculla South, Ennistymon, Co. Clare considered to be development, and if so is it exempted development?

AND WHEREAS Clare County Council, in considering this referral, had regard in particular to –

- (a) Sections 2, and 3 of the Planning and Development Act 2000, as amended,
- (b) Class 6, Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- (c) Articles 6 and 9 of the Planning and Development Regulations 2001, as amended
- (d) The details and drawing as indicated in submitted documents from the referrer.

AND WHEREAS Clare County Council has concluded:

- (a) that the development consisting of the construction of a slatted unit for the housing of cattle constitutes "works" and "development" which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- (b) that said development, consisting of a slatted unit for the housing of cattle, is exempted development having regard to Class 6 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended, including the conditions and limitations therein.

ORDER: Whereas by Chief Executive's Order No. HR 152 dated 9th April 2021, Pat Dowling, Chief Executive for Clare County Council, did, pursuant to the powers conferred on him by Section 154 of the Local Government Act 2001,

delegate to Garreth Ruane, Senior Executive Planner, the powers, functions and duties as set out herein,

NOW THEREFORE pursuant to the delegation of the said powers, functions and duties and under Section 5(2)(a) of the Planning & Development Act 2000 (as amended) and having considered the various submissions and reports in connection with the referral described above, I, Garreth Ruane, Senior Executive Planner, hereby declare that the construction of an agricultural slatted shed for the housing of cattle at Ardnaculla, Ennistymon for the housing of cattle is development and is exempted development.

Signed:



GARRETH RUANE
SENIOR EXECUTIVE PLANNER *As G*

Date:

13th December, 2021

CLARE COUNTY COUNCIL
SECTION 5 DECLARATION OF EXEMPTION APPLICATION
PLANNERS REPORT

FILE REF:	R21/ 68
APPLICANT(S):	John O Brien
REFERENCE:	Whether the construction of an agricultural slatted shed for the housing of cattle at Ardnaculla Ennistymon , Co. Clare is or is not development and is or is not exempted development.
LOCATION:	Ardnaculla, Ennistymon Co. Clare
DUE DATE:	22nd Dec 2021

Site Description.

The site is located on a local road west of Ennistymon settlement boundary immediately adjacent to lands zoned enterprise.

The subject site is not located in a European site and there are no national monuments on the site or nearby.

Planning History on site

None

Details submitted with the application

- Site location and land holding map scale 6 inch .
- Rural place map scale 1: 2,500 with the site outlined in red.
- Site layout plan showing 1:500 showing the proposed layout of the new slatted shed.
- Floor plans, sections, elevations and cross sections of the proposed slatted shed
- Dimensions of the slatted shed: overall height is 6.3 m to ridge, and 4.5 m to eaves, total length 14. m, width 13.8m
- Floor area 198.00 sq.m.
- Distance from the public road to the north (140m)
- Distance from the nearest dwelling being the applicants own house 100m

Background to Referral

Statutory Provisions

Planning and Development Act, 2000 (as amended)

In order to assess this proposal, regard has to be had to the *Planning and Development Act 2000, as amended*.

S.3.(1) In this Act, “development” means, except where the context otherwise requires, the carrying out of any works on, in, over or under land or the making of any material change in the use of any structures or other land.

‘Works’ are defined in Section 2 of the *Planning and Development Act 2000*, as amended as follows:

“works” includes any act or operation of construction, excavation, demolition, extension, alteration, repair or renewal and, in relation to a protected structure or proposed protected structure, includes any act or operation involving the application or removal of plaster, paint, wallpaper, tiles or other material to or from the surfaces of the interior or exterior of a structure.

Planning & Development Regulations, 2001, as amended

Article 6 refers to Exempted Development and states that subject to Article 9, development of a class specified in column 1 of Part 3 of Schedule 2 shall be exempted development for the purposes of the Act, provided that such development complies with the conditions and limitations specified in column 2 of the said Part 3 opposite the mention of that class in the said column 1.

Planning and Development Regulations 2001 (as amended) Schedule 2, Part 3,

Part 3 Exempted Development Rural- Article 6

Class 6

Planning and Development Regulations 2001 (as amended) Schedule 2, Part 3, Class 6

Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.

- 1. No such structure shall be used for any purpose other than the purpose of agriculture.*
- 2. The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate.*
- 3. Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution*
- 4. No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road.*
- 5. No such structure within 100 metres of any public road shall exceed 8 metres in height.*
- 6. No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof.*
- 7. No unpainted metal sheeting shall be used for roofing or on the external finish of the structure.*

Under Article 9 (1) of the same Regulations, development to which Article 6 relates shall not be exempted development for the purposes of the Act:

(a) if the carrying out of such development would –

- (i) contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act
- (ii) consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,
- (iii) endanger public safety by reason of traffic hazard or obstruction of road users,
- (iv) interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan.
- (vii) consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,
- (viiA) consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,
- (viiB) comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,
- (viiC) consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.”
- (viii) consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,
- (ix) consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,

(x) consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,

(xi) obstruct any public right of way,

(xii) further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.

Assessment

Basis of Referral

The applicant is seeking a Section 5 Declaration as to whether the construction of a slatted calving unit for is exempted development.

Planning and Development Regulations 2001 (as amended) Schedule 2, Part 3,

Class 6

Works consisting of the provision of a roofed structure for the housing of cattle, sheep, goats, donkeys, horses, deer or rabbits, having a gross floor space not exceeding 200 square metres (whether or not by extension of an existing structure), and any ancillary provision for effluent storage.

1. *No such structure shall be used for any purpose other than the purpose of agriculture. **This is the case.***
2. *The gross floor space of such structure together with any other such structures situated within the same farmyard complex or within 100 metres of that complex shall not exceed 300 square metres gross floor space in aggregate. **The gross floor space of the proposed structure is to be 198.00 m. There are no other structures of this type on site.***
3. *Effluent storage facilities adequate to serve the structure having regard to its size, use and location shall be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements and shall have regard to the need to avoid water pollution. **The effluent storage facilities adequate to serve the structure are proposed to be constructed in line with Department of Agriculture, Food and Rural Development and Department of the Environment and Local Government requirements. The development therefore complies with this condition/ limitation.***
4. *No such structure shall be situated, and no effluent from such structure shall be stored, within 10 metres of any public road. **The structure including the proposed underground tank is set back over 100 m from the public road thus complying with this condition/limitation***
5. *No such structure within 100 metres of any public road shall exceed 8 metres in height. **The structure is 6.3m height and as such complies with this height limitation.***
6. *No such structure shall be situated, and no effluent from such structure shall be stored, within 100 metres of any house (other than the house of the person providing the structure) or other residential*

building or school, hospital, church or building used for public assembly, save with the consent in writing of the owner and, as may be appropriate, the occupier or person in charge thereof. The structure complies with this requirement as the nearest residence is the applicants own which is 140m distance to the north. The dwelling adjacent to the west is of a similar distance

7. *No unpainted metal sheeting shall be used for roofing or on the external finish of the structure. The agent has advised that no unpainted finishes will be used. .*

Article 9 of the Planning and Development Regulations 2001, as amended

Article 9 of the Planning and Development Regulations 2001, as amended outlines restrictions on exempted development, and these are assessed below:

- (i) *contravene a condition attached to a permission under the Act or be inconsistent with any use specified in a permission under the Act*

There are no previous planning permissions on site.

- (ii) *consist of or compromise the formation, laying out or material widening of a means of access to a public road the surfaced carriageway of which exceeds 4 metres in width,*

No alterations to the existing access point are proposed.

- (iii) *endanger public safety by reason of traffic hazard or obstruction of road users,*

N/A.

- (iv) *interfere with the character of a landscape, or a view or prospect of special amenity value or special interest, the preservation of which is an objective of a development plan for the area in which the development is proposed or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan.*

N/A

- (v) *consist of or comprise the carrying out under a public road of works other than a connection to a wired broadcast relay service, sewer, water main, gas main or electricity supply line or cable, or any works to which class 25, 26 or 31 (a) specified in column 1 of Part 1 of Schedule 2 applies,*

N/A This is not applicable in this instance.

- (vi) *consist of or comprise the excavation, alteration or demolition (other than peat extraction) of places, caves, sites, features or other objects of archaeological, geological, historical, scientific or ecological interest, the preservation, conservation or protection of which is an objective of a development plan or local area plan for the area in which the development is proposed or, pending the variation of a development plan or local area plan, or the making of a new development plan or local area plan, in the draft variation of the development plan or the local area plan or the draft development plan or draft local area plan,*

(vii)

- a. *consist of or comprise the excavation, alteration or demolition of any archaeological monument included in the Record of Monuments and Places, pursuant to section 12(1) of the National Monuments (Amendment) Act 1994, save that this provision shall not apply to any excavation or any works, pursuant to and in accordance with a consent granted under section 14 or a licence granted under section 26 of the National Monuments Act 1930 (No. 2 of 1930) as amended,*

N/A This is not applicable in this instance .

- b. *comprise development in relation to which a planning authority or An Bord Pleanála is the competent authority in relation to appropriate assessment and the development would require an appropriate assessment because it would be likely to have a significant effect on the integrity of a European site,*

n/A

- c. *consist of or comprise development which would be likely to have an adverse impact on an area designated as a natural heritage area by order made under section 18 of the Wildlife (Amendment) Act 2000.”*

This is not applicable in this instance as the subject site is not located in a NHA or p NHA.

- (viii) *consist of or comprise the extension, alteration, repair or renewal of an unauthorised structure or a structure the use of which is an unauthorised use,*

This is not applicable in this instance.

- (ix) *consist of the demolition or such alteration of a building or other structure as would preclude or restrict the continuance of an existing use of a building or other structure where it is an objective of the planning authority to ensure that the building or other structure would remain available for such use and such objective has been specified in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan,*

This is not applicable in this instance.

- (x) *consist of the fencing or enclosure of any land habitually open to or used by the public during the 10 years preceding such fencing or enclosure for recreational purposes or as a means of access to any seashore, mountain, lakeshore, riverbank or other place of natural beauty or recreational utility,*

This is not applicable in this instance.

- (xi) *obstruct any public right of way,*

This is not applicable in this instance.

- (xii) *further to the provisions of section 82 of the Act, consist of or comprise the carrying out of works to the exterior of a structure, where the structure concerned is located within an architectural conservation area or an area specified as an architectural conservation area in a development plan for the area or, pending the variation of a development plan or the making of a new development plan, in the draft variation of the development plan or the draft development plan and the development would materially affect the character of the area.*

This is not applicable in this instance.

Conclusion

Having regard to the above it is considered that the proposed development constitutes both 'works' and 'development'. Regard has been had to Class 6, of Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended .

Recommendation

The following questions have been referred to the Planning Authority:

Whether the construction of **an agricultural slatted shed for the housing of cattle at Ardnaculla Ennistymon** is or is not development and is or is not exempted development.

The Planning Authority in considering this referral had regard to:

- (a) Sections 2, and 3 of the Planning and Development Act 2000, as amended,
- (b) Class 6, Part 3 of Schedule 2 of the Planning and Development Regulations 2001, as amended.
- (c) Articles 6 and 9 of the Planning and Development Regulations 2001, as amended
- (d) The details and drawing as indicated in submitted documents from the referrer.

And whereas Clare County Council (Planning Authority) has concluded:

- (a) the development consisting of the construction of a slatted unit for the housing of cattle constitutes "works" and "development" which come within the scope of sections 2 and 3 of the Planning and Development Act 2000, as amended.
- (b) The said development, consisting of a slatted unit for the housing of cattle, is exempted development having regard to Class 6 of Schedule 2, Part 3 of the Planning and Development Regulations 2001, as amended, including the conditions and limitations therein.

Now therefore Clare County Council (Planning Authority), hereby decides that construction an agricultural slatted shed for the housing of cattle at Ardnaculla Ennistymon for the housing of cattle is development and is exempted development.

Ellen Carey

Ellen Carey
Executive Planner

Date: 9/12ec/21,

Garreth Ruane

Garreth Ruane
~~Ag~~ Senior Executive Planner

Date: 10/12/21.

Clare County Council
Screening for Appropriate Assessment & Determination

1. Table 1 to be filled in for all development applications.
2. Where proposed development is within a European site(s) site, go directly to table 3.
3. For all other development proposals, fill in table 2, and if required, table 3.
4. A Habitats Directive Screening Statement should be sought for all developments regardless of location which require an EIS

Table 1: Project Details

Planning File Reference	R 21/68
Applicant Name	John O'Brien
Development Location	Ardnaculla, Ennistymon
Application accompanied by an EIS	
Application accompanied by an NIS	
Description of the project (To include a site location map):	
<p>Section 5 referral</p> <p>Whether the construction of an slatted shed is or is not development and is or is not exempted development.</p>	

Table 2: Identification of European sites which may be impacted by the proposed development.

This section identifies the European Sites within the likely zone of impact of the plan or project. For plans an initial 15km zone of influence (NPWS-DAHG)¹ is recommended. For projects, the distance could be much less than 15km, and in some cases less than 100m, but this must be evaluated on a case-by-case basis with reference to the nature, size and location of the project, and the sensitivities of the ecological receptors, and the potential for in combination effects. Qualifying Interests/Special conservation Interests for each site and the distance relevant to the proposal are listed (Table 2 (a)).

Table 2 (a): European Sites within 15km of Applicant Site

European Sites ²	Qualifying Interests (QIs)/Special Conservation Interests (SCIs) and conservation objectives (either generic or detailed) (available on www.npws.ie/protectedsites) or through Intranet.	Distance to Applicant Site (km)
Inagh River estuary SAC	Salicornia and other annuals colonising mud and sand [1310] Atlantic salt meadows (<i>Glaucopuccinellietalia maritima</i>) [1330] Mediterranean salt meadows (<i>Juncetalia maritimi</i>) [1410] Shifting dunes along the shoreline with <i>Ammophila arenaria</i> (white dunes) [2120] Fixed coastal dunes with herbaceous vegetation (grey dunes) [2130]	1.26km

1	Impacts on designated rivers, streams, lakes and fresh water dependant habitats and species.	Is the development in the catchment of or immediately upstream of a watercourse that has been designated as a European site?	no
2	Impacts on terrestrial habitats & species.	Is the development within 1km of a European site with terrestrial based habitats or species?	NO
3	Impacts on designated marine habitats & species.	Is the development located within marine or intertidal areas and within 5 km of a European site whose qualifying habitats or species include the following: <i>Mudflats, sandflats, saltmarsh, shingle, reefs, sea cliffs</i>	no
4	Impacts on birds in SPAs	Is the development within 1km of a	no

¹ European Sites that are more than 15km from the proposal may have to be considered. For example in the case of sites with water dependent habitats or species and where a proposal could affect water quality or quantity it may be necessary to consider the full extent of the upstream and/or downstream catchment.

² European Site details are available on <http://webgis.npws.ie/npwsviewer/> or maybe obtained from internal mapping systems.

		<i>Special Protection Area</i>	
5	Indirect effects	<i>Is the development, in combination with other existing or proposed developments likely to impact on an adjacent European site?</i> <i>Is any emission from the development (including noise) likely to impact on an adjacent habitat or species?</i>	No

Conclusion:

- If the answer to all of the above is *no*, significant impacts on European sites are unlikely. No further assessment is required; go directly to the conclusion statement.
- If the answer is *unknown* or *yes* proceed to Table 3 and refer to the relevant sections of Table 3.

Table 3: Identification of potential impacts.

1	Impacts on designated rivers, streams, lakes and fresh water dependant habitats and species. <i>Please answer the following if the answer to question 1 in table 2 was “yes” or “unknown”. Does the development involve any of the following:</i>	
1.1	Removal of or interference with habitat within a European site. This may include any element of a project liable to interfere with breeding, nesting or roosting sites of birds, bats, water based species	NA
1.2	Discharges either directly (via pipe from the development) or indirectly (via sewer) to surfacewater or groundwater What is the likely volume of the discharge?	Landspreading of effluent
1.3	Abstraction from surfacewater or groundwater in or adjacent to a European site, where hydrology is a critical element in the protection of habitat and species at the site? What is the likely volume of the abstraction?	NA
1.4	Is removal of topsoil proposed within 500m of watercourses? What transportation requirements are provided? Does the removal involve reduction in area, population density or fragmentation of area of any habitat or species?	NA
1.5	Infilling or raising of ground levels within 500m of watercourses? What transportation requirements are provided? Does the infilling or raising involve interference with area, population density or fragmentation of area of any habitat or species?	NA
1.6	Construction of drainage ditches - (scale?) Where the run off is directed to? Is the drainage run off directed to a European site where species are identified and whose conservation status may be impacted by this drainage?	NA
1.7	Installation of waste water treatment systems; percolation areas; septic tanks within 500m of watercourses?	NA
1.8	Construction within a floodplain or within an area liable to flood (See www.floodmaps.ie , internal flood risk maps, County Development Plan SFRA and www.cframs.ie)	NA
1.9	Crossing or culverting of rivers or streams, installation of weirs, temporary watercourse crossings or any interference with a watercourse.	NA

1.10	Storage of chemicals or hydrocarbons (including oils and fuels) within 500m of a watercourse	NA
1.11	Development within catchment of a European site of a scale or type which involves the production of an EIS	NA
1.12	Consideration of effects in combination with existing development?	NA
2	Impacts on terrestrial habitats and species. <i>Please answer the following if the answer to question 2 in table 2 was yes.</i> <i>Does the development involve any of the following:</i>	
2a	Removal of or interference with habitat within the European site. This includes reduction in habitat area or fragmentation of habitat. Is the timing of this interference liable to impact on the nesting or breeding period of any protected species?	NA
2b	Construction of roads or other infrastructure on peat habitats within 1km of bog, marsh, fen or heath habitat within a European site	NA
2c	Is the development liable to impact on water quality in the European site, or liable to give rise to any change in a key indicator of water quality, including salinity. If yes, is the site designated for any bird species or other plant species whose feeding ground or life cycle may be affected by changes in water quality?	NA
2d	Development within 1km of terrestrial European site of a scale or type which involves the production of an EIS.	NA
3	Impacts on designated marine habitats and species. <i>Please answer the following if the answer to question 3 in table 2 was yes.</i> <i>Does the development involve any of the following:</i>	
3a	Removal of or interference with habitat within the European site. This includes timing of the project if there is potential to interfere with nesting or breeding periods, either directly or indirectly (e.g. by noise emission) or any aspect of the life cycle of a protected species. This also includes potential fragmentation, size reduction of habitat, or reduction in species density.	NA
3b	Coastal protection works on intertidal or marine habitats within 5km of a European site supporting coastal or marine habitats or species. This includes any works which may give rise to potential changes in hydrology or salinity of these areas.	NA

3c	Development of piers, slipways, marinas, pontoons or any other infrastructure within 5km of a European site that was designated because it supports marine habitats and/or species.	NA
3d	Dredging within 5km of a European site supporting coastal or marine habitats or species.	NA
3e	Removal of topsoil or infilling within 100m of marine habitats within the designated site.	NA
3f	Land based development within 1km of a European site of a scale or type which involves the production of an EIS.	NA
3g	Marine or intertidal based development within 5km of a European site of a scale or type which involves the production of an EIS.	NA

4	Impacts on birds in SPAs <i>Please answer the following if the answer to question 5 in table 2 was yes.</i> <i>Does the development involve any of the following:</i>	
4a	Removal of or interference with habitats within an SPA. This includes consideration of indirect and in combination effects on the feeding, breeding and nesting grounds of Annex 1 birds	NA
4b	Erection of wind turbines within 1km of an SPA.	NA
4c	All construction works within 100m of intertidal areas – Coastal SPAs, including indirect and in combination effects on the feeding, breeding and nesting grounds of Annex 1 birds	NA
4d	Infilling of coastal habitats within 500m of SPA, including indirect and in combination effects on the feeding, breeding and nesting grounds of Annex 1 birds	NA
4e	Discharges to coastal SPA, including any element of a discharge liable to give rise to disturbance of this habitat, either by direct, indirect, or in combination effects	NA
4f	Development of cycleways or walking routes within 100m of intertidal areas. This includes consideration of indirect and in combination effects on the feeding, breeding and nesting grounds of Annex 1 birds	NA
4g	Development within 1km of SPA of a scale or type which involves the production of an EIS. This includes consideration of indirect and in combination effects on the feeding, breeding and nesting grounds of Annex 1 birds	NA

Conclusion:

- If the answer to all of the above is *no*, significant impacts on European sites are unlikely. No further assessment is required; go directly to the conclusion statement.
- If the answer to any of the above is *yes*, or *unknown* effects on the European sites need to be assessed and a Natura Impact Statement will be required

Appropriate Assessment Screening Determination	
Planning File Reference	R21/67
Proposed Development	Section 5 referral for Slatted shed
Development Location	Ardnaculla
European sites within impact zone	Inagh River estuary SAC
Description of the project:	
As above	
Qualifying Interests (QIs)/Special Conservation Interests (SCIs) of European site	
As above	
Describe how the project or plan (alone or in combination) is likely to affect the European site(s).	
Spreading of organic effluent may give rise to pollution of Inagh River estuary	
If there are potential negative impacts, explain whether you consider if these are likely to be significant, and if not, why not?	
Not significant- land spreading is carried out in accordance with Dept of Agriculture Standards. The land holding is greater than 1km distance from the European site	
Documentation reviewed for making this statement	
<ul style="list-style-type: none"> - County Development Plan (including Flood Maps, SEA & AA) - NPWS website - Documents received as part of the planning application - EPA Code of Practice 	
Conclusion of assessment (a, b, c or d)	
(a) The proposed development is directly connected with or necessary to the nature conservation management of a European Site(s) ³	No
(b) There is no potential for significant effects to European Sites ³	There is no potential for significant effects to European Sites ³
(c) The potential for	The potential for significant effects to European

³ Appropriate Assessment is not required and therefore Planning permission may be granted at this stage subject to all other planning considerations. However, no material changes may be made to the proposed development after this conclusion has been reached as this would invalidate the findings of the screening exercise.

significant effects to European Site(s) cannot be ruled out⁴	Site(s) can be ruled out⁴
(d) Significant effects to European sites are certain or likely or where potential for significant effects to European sites remains following receipt of Further Information requested under S177U of the Planning and Development (Amendment) Act 2010⁵	N/A
Completed By	Ellen Carey
Date	8th Dec 21

⁴ In accordance with S177U of the Planning and Development (Amendment) Act 2010, the applicant should be requested to submit an 'Appropriate Assessment Screening Matrix' completed by a suitably qualified ecologist, by way of Further Information. Following receipt of this information a new Appropriate Screening Report should be completed. The requested 'Appropriate Assessment Screening Matrix' should be in accordance with the template outlined in Annex 2, Figure 1 of the EU (2001) guidance document 'Assessment of plans and projects significantly affecting European Sites – Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC. This guidance document is available from http://ec.europa.eu/environment/nature/natura2000/management/docs/art6/natura_2000_assess_en.pdf Alternatively, where other planning concerns arise the proposal could be refused planning permission.

⁴ In accordance with S177U of the Planning and Development (Amendment) Act 2010, the applicant should be requested to submit an 'Appropriate Assessment Screening Matrix' completed by a suitably qualified ecologist, by way of Further Information. Following receipt of this information a new Appropriate Screening Report should be completed. The requested 'Appropriate Assessment Screening Matrix' should be in accordance with the template outlined in Annex 2, Figure 1 of the EU (2001) guidance document 'Assessment of plans and projects significantly affecting European Sites – Methodological guidance on the provisions of Article 6(3) and (4) of the Habitats Directive 92/43/EEC. This guidance document is available from http://ec.europa.eu/environment/nature/natura2000/management/docs/art6/natura_2000_assess_en.pdf Alternatively, where other planning concerns arise the proposal could be refused planning permission.

⁵ The proposed development must either by refused planning permission or alternatively an 'Appropriate Assessment' (AA) should be carried out by the Planning Authority. In order to facilitate the preparation of an AA the applicant should be requested to submit a Natura Impact Statement (NIS) in accordance with S177 (T) of the Planning and Development (Amendment) Act 2010. However, in the case of an application to retain unauthorised development of land and where the authority decides that an 'appropriate assessment' should have been carried out prior to the commencement of development, the application is required to be invalidated by the Planning Authority as per S34 (12) of the Planning and Development (Amendment) Act 2010 and accordingly an NIS should not be requested in such instances.



COMHAIRLE | CLARE
CONTAE AN CHLÁIR | COUNTY COUNCIL

Jamie Vaughan
Jamie Vaughan Design
Deerpark West
Ennistymon
Co. Clare

25/11/2021

Section 5 referral Reference R21-68 – John O’ Brien

Is the construction of an agricultural slatted shed for housing cattle at Ardnaculla South, Ennistymon, Co. Clare considered to be development, and if so is it exempted development?

A Chara,

I refer to your application received on 25th November 2021 under Section 5 of the Planning & Development Act 2000 (as amended) in relation to the above.

Please note that the Planning Authority is considering the matter and a reply will issue to you in due course.

Mise, le meas

Tadhg Holmes

Tadhg Holmes
Planning Department
Economic Development Directorate

An Roinn Pleanála
An Stiúrthóireacht Forbairt Gheilleagrach
Áras Contae an Chláir, Bóthar Nua, Inis, Co. an Chláir, V95 DXP2

Planning Department
Economic Development Directorate
Áras Contae an Chláir, New Road, Ennis, Co. Clare, V95 DXP2



P07

**CLARE COUNTY COUNCIL
COMHAIRLE CONTAE AN CHLÁIR**

Planning Department,
Economic Development Directorate,
Clare County Council,
New Road, Ennis,
Co. Clare.
V95DXP2

Telephone No. (065) 6821616
Fax No. (065) 6892071
Email: planoff@clarecoco.ie
Website: www.clarecoco.ie



**REQUEST FOR A DECLARATION ON DEVELOPMENT AND EXEMPTED DEVELOPMENT
(Section 5 of the Planning & Development Act 2000 (as amended))**

FEE: €80

This following form is a non-statutory form which has been prepared by Clare County Council for the purpose of obtaining the necessary information required for a declaration to be made under Section 5 by the Planning Authority

1. CORRESPONDENCE DETAILS.	
(a) Name and Address of person seeking the declaration	John O Brien Ardnaculla South, Ennistymon, Co. Clare
(b) Telephone No.:	0871626667 - Jamie Vaughan
(c) Email Address:	jamievaughandesign@gmail.com
(d) Agent's Name and address:	Jamie Vaughan Jamie Vaughan Design Deerpark West, Ennistymon, Co. Clare

2. DETAILS REGARDING DECLARATION BEING SOUGHT

- (a) PLEASE STATE THE SPECIFIC QUESTION FOR WHICH A DECLARATION IS SOUGHT
Note: only works listed and described under this section will be assessed.

Sample Question: *Is the construction of a shed at 1 Main St., Ennis development and if so is it exempted development?*

IS THE CONSTRUCTION OF AN AGRICULTURAL SLATTED SHED FOR HOUSING CATTLE
 AT ARDNACULLA SOUTH, ENNISTYMON, CO. CLARE EXEMPTED DEVELOPMENT?

- (b) Provide a full description of the question/matter/subject which arises wherein a declaration of the question is sought.

WE ARE SEEKING AN EXEMPTION DECARATION FROM THE PLANNING AUTHORITY FOR
 THE CONSTRUCTION OF A TYPE 1 FARM STRUCTURE FOR HOUSING CATTLE.

THE PROPOSED TYPE 1 STRUCTURE FOR HOUSING CATTLE HAS A FLOOR AREA LESS THAN
 200M2. THERE ARE NO OTHER TYPE 1 STRUCTURES IN THE FARMYARD. THE FARMYARD IS
 IN A RURAL AREA.

PROPOSED STRUCTURE IS MORE THAN 10M FROM PUBLIC ROAD.

PROPOSED BUILDING IS MORE THAN 100M AWAY FROM ANY HOUSE, SCHOOL, CHURCH OR
 OTHER PUBLIC BUILDING.

HEIGHT ABOVE GROUND LEVEL IS LESS THAN 8M.

NO UNPAINTED METAL SHEETING SHALL BE USED AS AN EXTERNAL FINISH.

EFFLUENT STORAGE REQUIREMENTS WILL BE IN LINE WITH DEPT OF AG REQUIREMENTS
 THE PROPOSED STRUCTURE WILL ONLY BE USED FOR AGRICULTURAL PURPOSES.

- (c) List of plans, drawings etc. submitted with this request for a declaration:
(Note: Please provide a site location map to a scale of not less than 1:2500 based on Ordnance Survey map for the areas, to identify the lands in question)

SITE LOCATION MAP 1:2500 SCALE, LANDHOLDING MAP 1:10560

SITE LAYOUT PLAN 1:1000 SCALE, PLANS ELEVATIONS & SECTIONS 1:100 SCALE

3. DETAILS RE: PROPERTY/SITE/BUILDING FOR WHICH DECLARATION IS SOUGHT	
(a) Postal Address of the Property/Site/Building for which the declaration sought:	Ardnaculla South, Ennistymon, Co. Clare _____ _____ _____ _____
(b) Do the works in question affect a Protected Structure or are within the curtilage of a Protected Structure? If yes, has a Declaration under Section 57 of the Planning & Development Act 2000 (as amended) been requested or issued for the property by the Planning Authority?	NO _____ _____ _____
(c) Legal interest in the land or structure in question of the person requesting the declaration (Give Details):	OWNER _____ _____
(d) If the person in (c) above is not the owner and/or occupier, state the name and address of the owner of the property in question: <i>Note: Observations in relation to a referral may be requested from the owner/occupier where appropriate.</i>	N/A _____ _____ _____
(e) Is the owner aware of the current request for a Declaration under Section 5 of the Planning & Development Act 2000 (as amended)?:	YES
(f) Are you aware of any enforcement proceedings connected to this site? <i>If so please supply details:</i>	NO
(g) Were there previous planning application/s on this site? <i>If so please supply details:</i>	NO
(h) Date on which 'works' in question were completed/are likely to take place:	MAY 2022

SIGNED:

Samie VaejhDATE: 24-11-2021

GUIDANCE NOTES

This following are non-statutory advice notes prepared by Clare County Council for the purpose of advising people what information is required for a decision to be made under Section 5 by the Planning Authority

- (i) The request for a declaration under Section 5 must be accompanied by 2 copies of site location map based on the Ordnance Survey map for the area of a scale not less than 1:1000 in urban areas and 1:2500 in rural areas and should clearly identify the site in question.
- (ii) The request for a declaration under Section 5 must be accompanied by the required fee of €80.00.
- (iii) If submitting any additional plans/reports etc. as part of the request for a declaration, please submit 2 copies.
- (iv) The request for a declaration should be sent to the following address:

Planning Department,
Economic Development Directorate,
Clare County Council
Aras Contae an Chlair,
New Road,
Ennis,
Co. Clare
V95DXP2

- (v) Notwithstanding the completion of the above form, the Planning Authority may require the submission of further information with regard to the request in order to enable the Authority to issue a declaration on the question.
- (vi) The Planning Authority may also request other persons to submit information on the question which has arisen and on which the declaration is sought

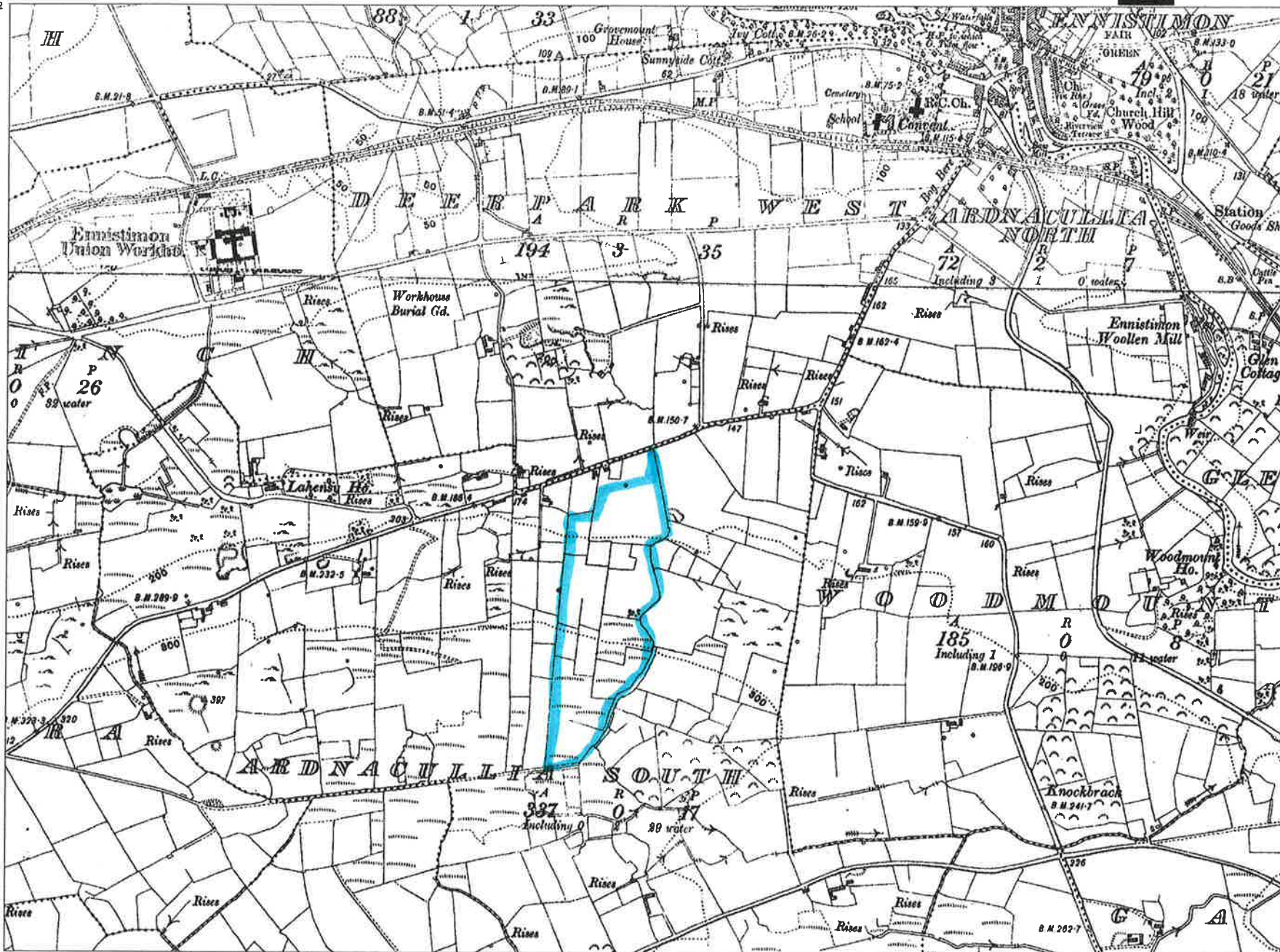
FOR OFFICE USE ONLY

Date Received:	Fee Paid:
Date Acknowledged:	Reference No.:
Date Declaration made:	CEO No.:
Decision:	

Surveyed 1840
Revised 1913-1914
Levelled 1914-1915

Record PLACE Map

LANDHOLDING IN BLUE = 8.36 ha



ITM CENTRE PT. COORDS

512345,687594

DESCRIPTION

MAP SHEETS

6 inch
CEB15 CE023
25 NOV 2021

Authorised
OSi Internet Map

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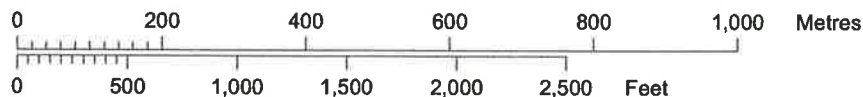
Ní hionann bóthar, bealach nó cúlra a bheith ar an Maircail seo agus fianaise ar chuid aile. The representation on this map of a road, track or loop path is not evidence of the existence of a right of way.

Ní thaispeáinn Maircail de chuid Ordánais Súlhbhíreacht na hÉireann leagan phictiúil dea-thóil de mhaoin riaráil, ná úinéireacht de ghráinne tréidil. Ordnance Survey maps never show legal property boundaries, nor do they show ownership of physical features.

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© Ordnance Survey Ireland, 2017



Scale:- 1:10,560
Scála:- 1:10,560



Plot Ref. No. 19747660_1
Plot Date 23-MAY-2017

Surveyed 1999
Revised 2016
Levelled

Rural PLACE Map



512636
687809

ITM CENTRE PT COORDS

512345,687594

DESCRIPTION

MAP SHEETS

1:2500
4084-0

25 NOV 2021



Authorised
Internet Map

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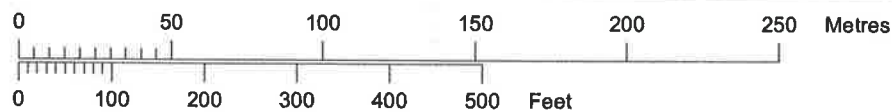


512636
687379

512054
687809

512054
687379

Scale:- 1:2,500
Scála:- 1:2,500



Plot Ref. No. 19747660_1_1
Plot Date 23-MAY-2017

SITE AREA = 0.4 ha

SITE

FARMYARD AREA EDGED IN RED = 0.4ha

APPLICANT'S EXSITING DWELLING

EXISTING FARM ENTRANCE

EXISTING FARM ROAD

EXISTING CATTLE CRUSH &
LOADING YARD

EXISTING FARM ROAD

TLB = 99.5M

PROPOSED SHED
FFL = 100.00

EXISTING FARM ROAD



EXEMPTION NOTES

PROPOSED TYPE 1 STRUCTURE FOR HOUSING CATTLE HAS A FLOOR AREA LESS THAN 200m². THERE ARE NO OTHER TYPE 1 STRUCTURES IN FARMYARD.

THE FARMYARD IS IN A RURAL AREA.

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EFFLUENT STORAGE REQUIREMENTS WILL BE IN LINE WITH DEPT OF AGRICULTURE REQUIREMENTS

THE PROPOSED STRUCTURE WILL ONLY BE USED FOR AGRICULTURAL PURPOSES.



1 Site Layout Plan

Scale: 1 : 1000

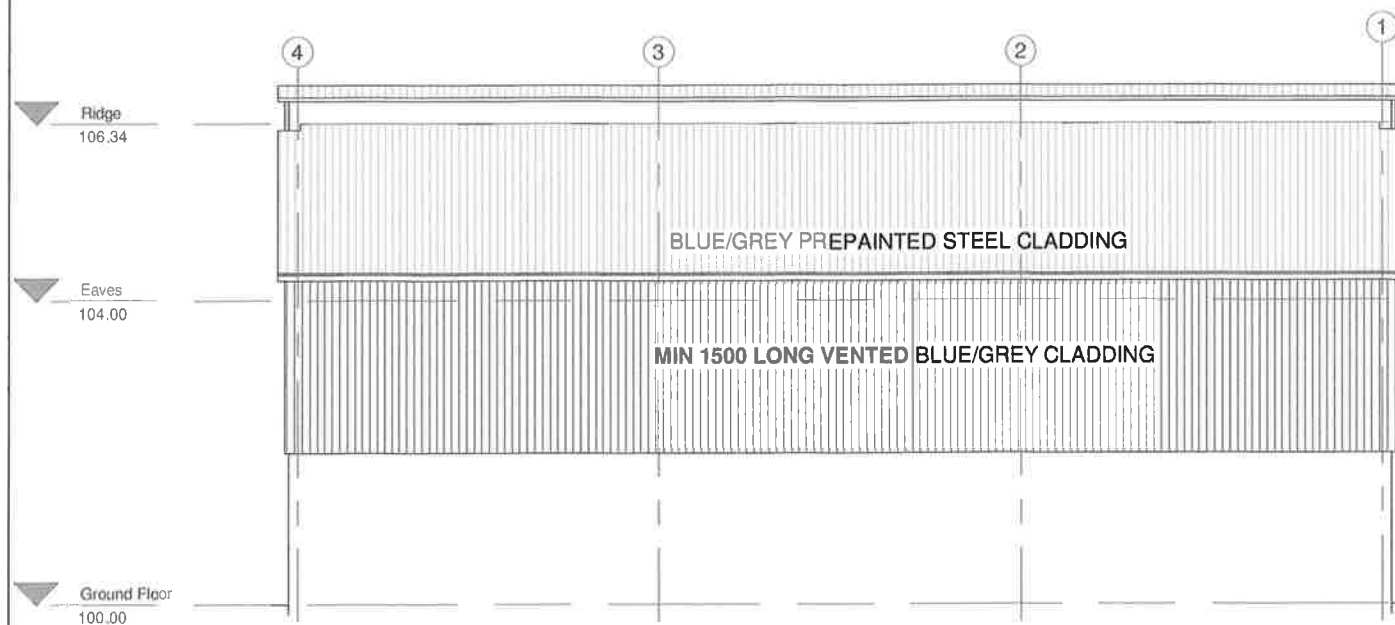
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All levels are in meters UON. All dimensions are in millimeters UON. All floor areas are in square meters UON.
Report any discrepancies found on site immediately to Jamie Vaughan Design.

Rev No.	Description	Date
0	Issued for Planning	24-11-2021

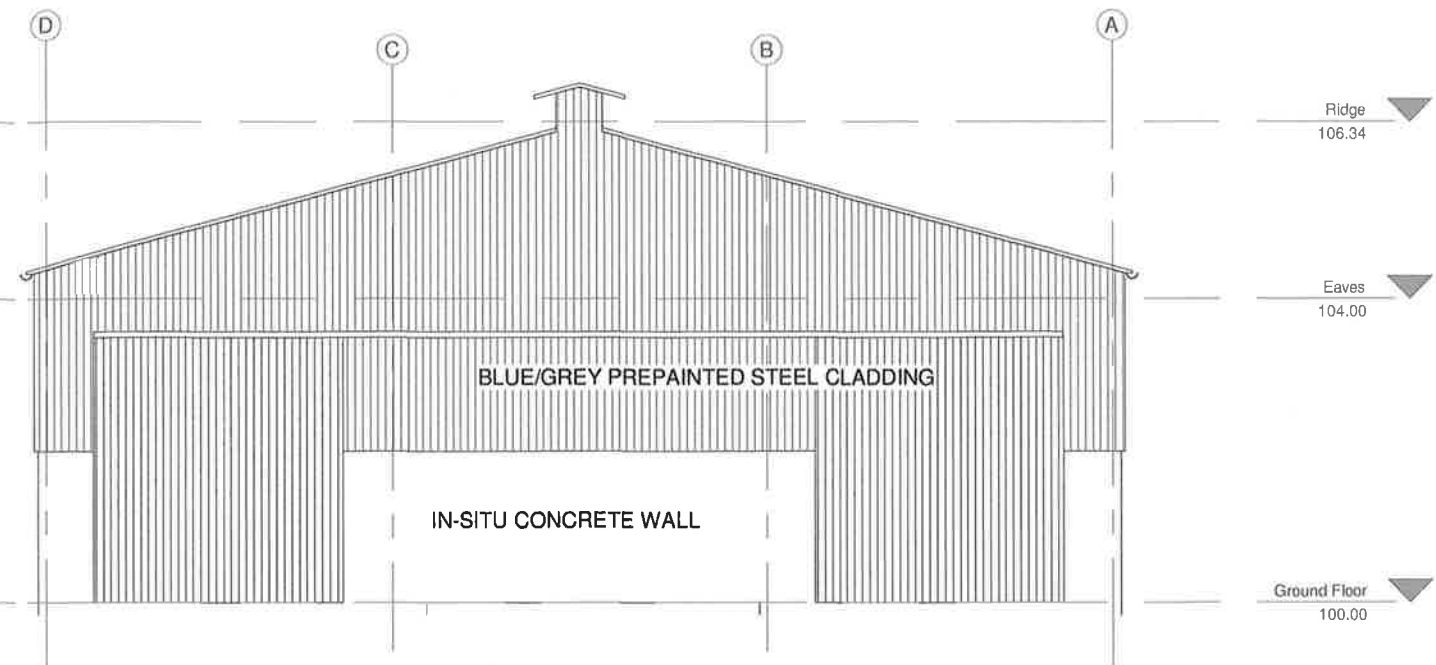
JVD Jamie Vaughan Design
Architectural Technology | Furniture | BIM
Deerpark West, Ennistymon, Co. Clare, Ireland. V95 Y925
Phone: +353 871626667 | Email: jamievaughandesign@gmail.com

PROJECT	Slatted Shed
CLIENT	John O' Brien
PROJECT ADDRESS	Ardnaculla South, Ennistymon, Co. Clare

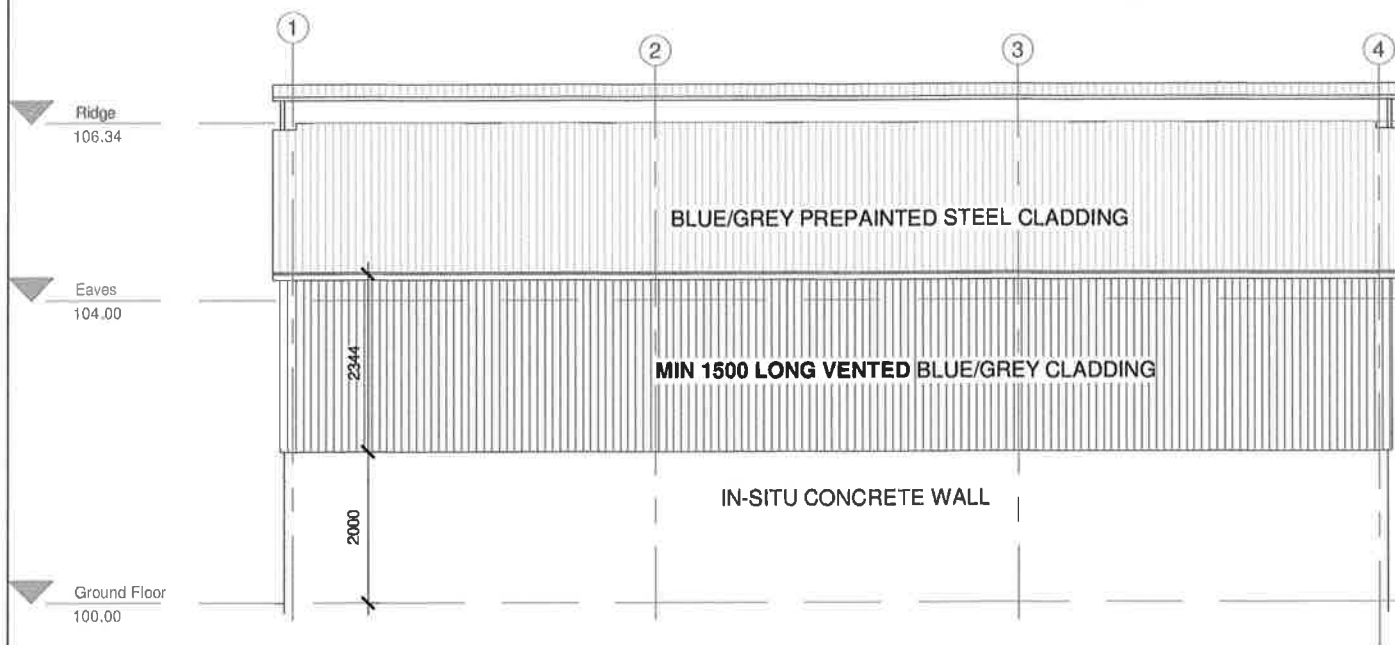
DRAWING NAME		Site Layout Plan	
Date	Project number	DRAWING PURPOSE	
NOV 2021	2148	Planning	
Drawn by	Scale (@ A3)	DRAWING NUMBER	REV
JV	1 : 1000	A102	0



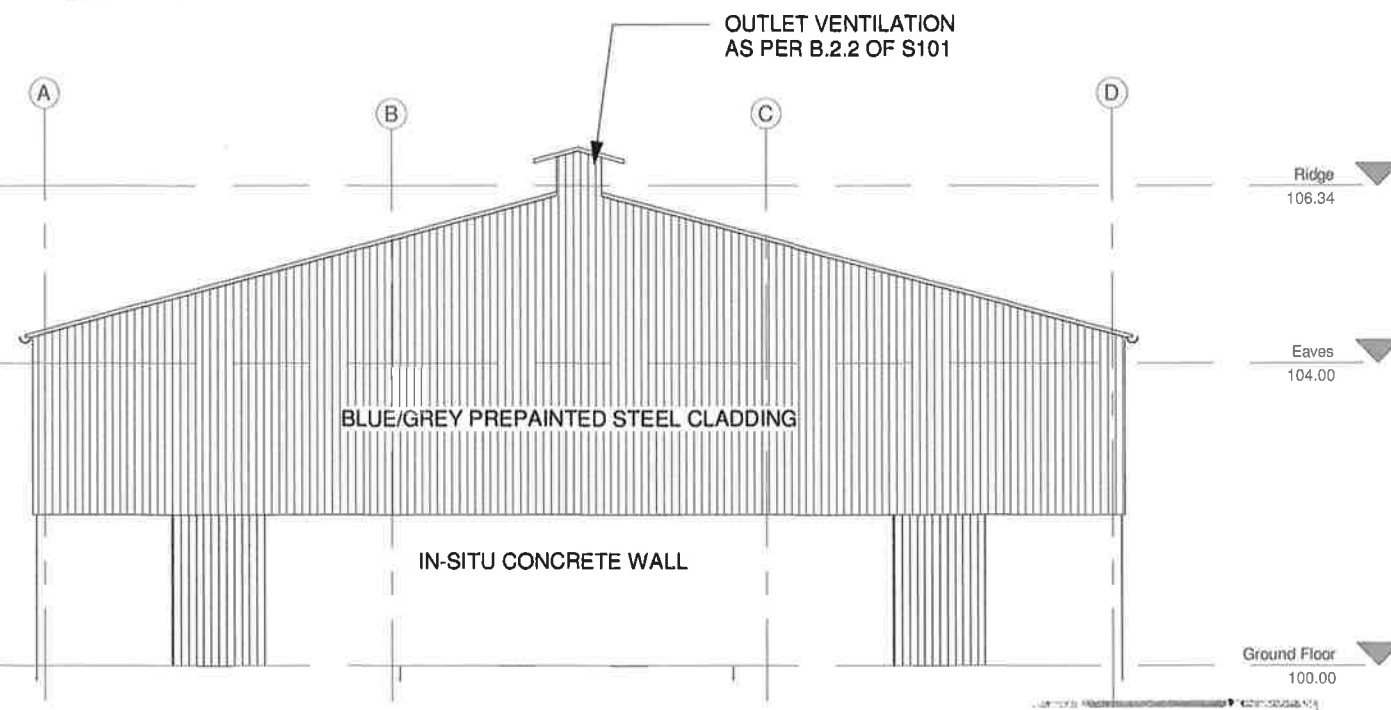
1 South Elevation
Scale: 1 : 100



3 East Elevation
Scale: 1 : 100



2 North Elevation
Scale: 1 : 100



4 West Elevation
Scale: 1 : 100



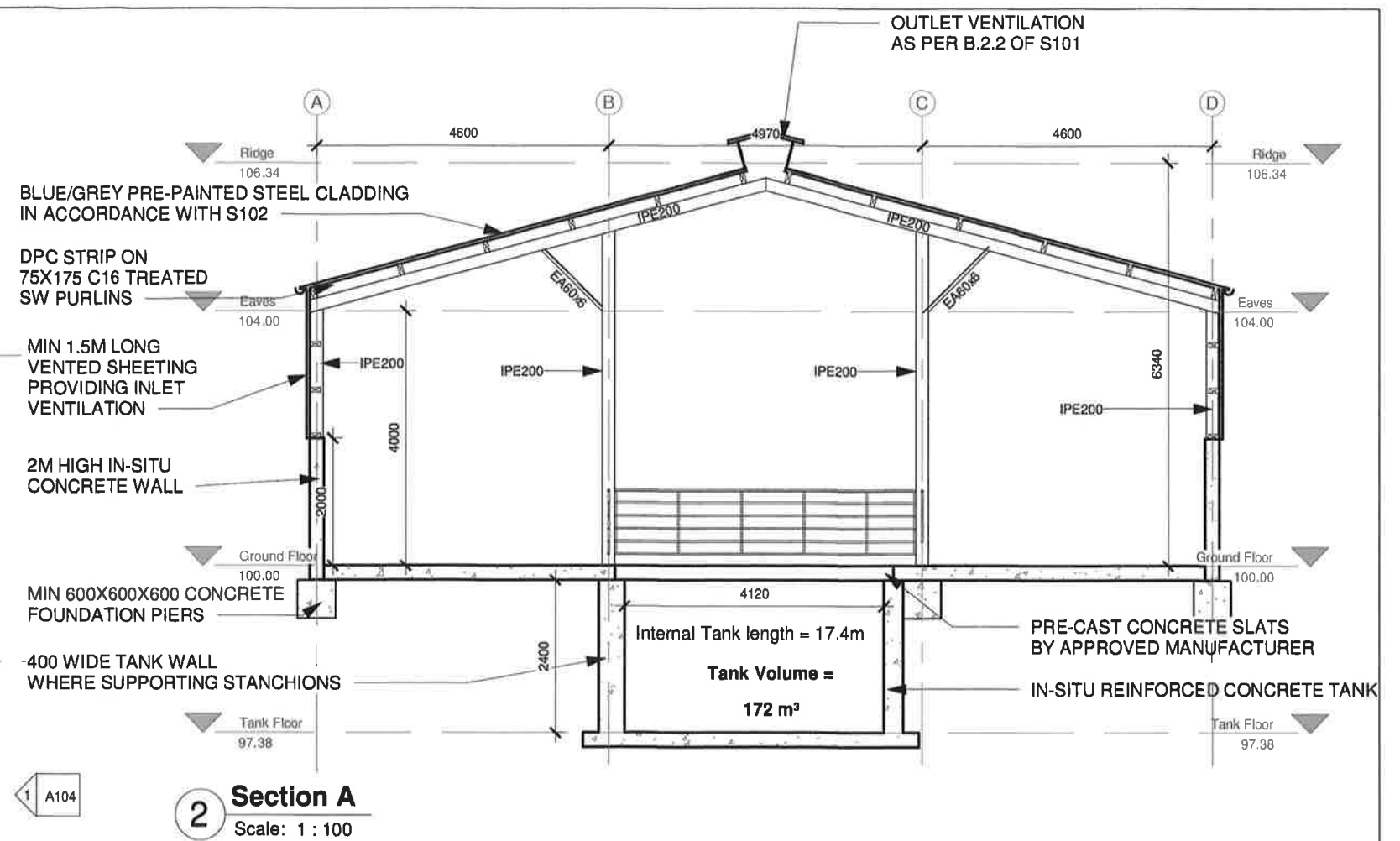
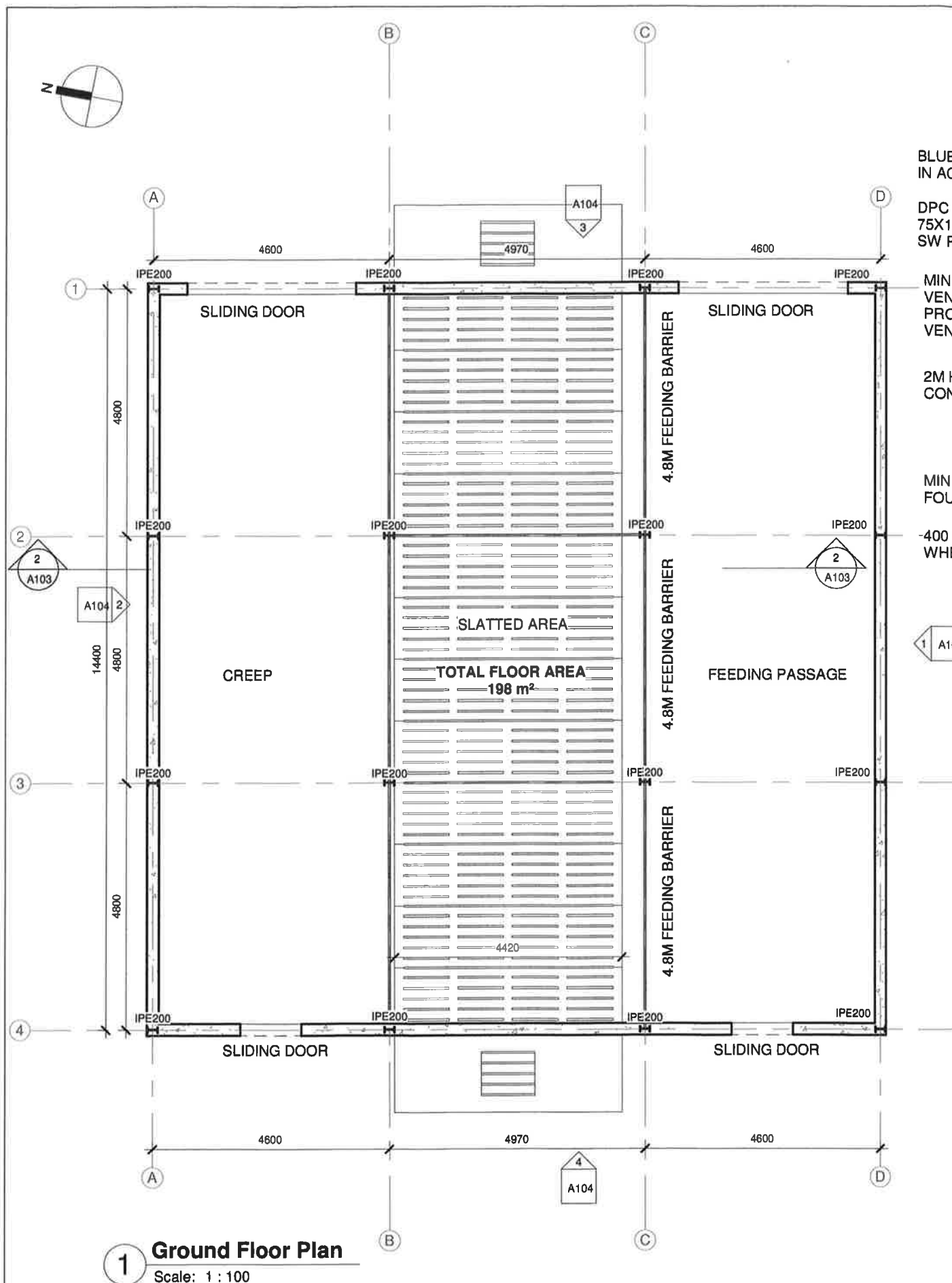
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Rev No.	Description	Date
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JVD Jamie Vaughan Design
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Deerpark West, Ennistymon, Co. Clare, Ireland. V95 Y925
Phone: +353 871626667 | Email: jamlevaughandesign@gmail.com

PROJECT Slatted Shed
CLIENT John O' Brien
PROJECT ADDRESS Ardnaculla South, Ennistymon, Co. Clare

DRAWING NAME		Elevations	
Date	Project number	DRAWING PURPOSE	REV
NOV 2021	2148	Planning	0
Drawn by	Scale (@ A3)	DRAWING NUMBER	
JV	1 : 100	A104	



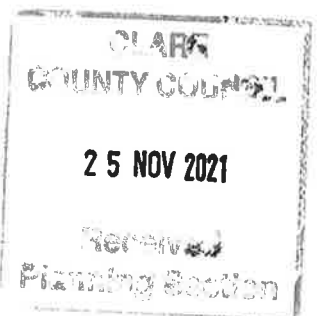
ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH DEPARTMENT OF AGRICULTURE, FOOD AND MARINE - FARM BUILDING AND STRUCTURES SPECIFICATIONS.

TANK
IN-SITU REINFORCED CONCRETE TANK IN ACCORDANCE WITH S.123 - MINIMUM SPECIFICATION FOR BOVINE LIVESTOCK UNITS AND REINFORCED TANKS.

STRUCTURE
HOT DIPPED GALVANISED SIMPLE STEEL FRAME TYPE A2 IN ACCORDANCE WITH S.101 MINIMUM SPECIFICATIONS FOR THE STRUCTURE OF AGRICULTURAL BUILDINGS.

VENTILATION
TO BE PROVIDED IN ACCORDANCE WITH S.101 MINIMUM SPECIFICATIONS FOR THE STRUCTURE OF AGRICULTURAL BUILDINGS.

CLADDING
ROOF AND SIDE CLADDING IN ACCORDANCE WITH S102 MINIMUM STANDARDS FOR ROOF CLADDING AND SIDE CLADDING
NOTE: VENTED SHEETING REQUIRED AT EAVES



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JVD Jamie Vaughan Design
Architectural Technology | Furniture | BIM
Deerpark West, Ennistymon, Co. Clare, Ireland. V95 Y925
Phone: +353 871626667 | Email: jamlevaughandesign@gmail.com

PROJECT
Slatted Shed
CLIENT
John O' Brien
PROJECT ADDRESS
Ardnaculla South, Ennistymon, Co. Clare

DRAWING NAME			
Floor Plan & Section			
Date	Project number	DRAWING PURPOSE	
NOV 2021	2148	Planning	
Drawn by	Scale (@ A3)	DRAWING NUMBER	REV
JV	1 : 100	A103	0

Clare County Council
Aras Contae an Chláir
New Road
Ennis
Co Clare

25/11/2021 14:07:27

Receipt No. : LICASH 0325265
REPRINT

JOHN O'BRIEN
C/O JAMIE VAUGHAN DESIGN
DEERPARK WEST
ENNISTYMON
CO. CLARE



SECTION 5 REFERENCES	80.00
GOODS	80.00
VAT Exempt/Non-vatable	

Total : 80.00 EUR

Tendered :
CREDIT CARDS 80.00

Change : 0.00

Issued By : LICASH - Patricia Quinlivan
From : MAIN CASH OFFICE LODGEMENT AREA
Vat reg No.0033043E